

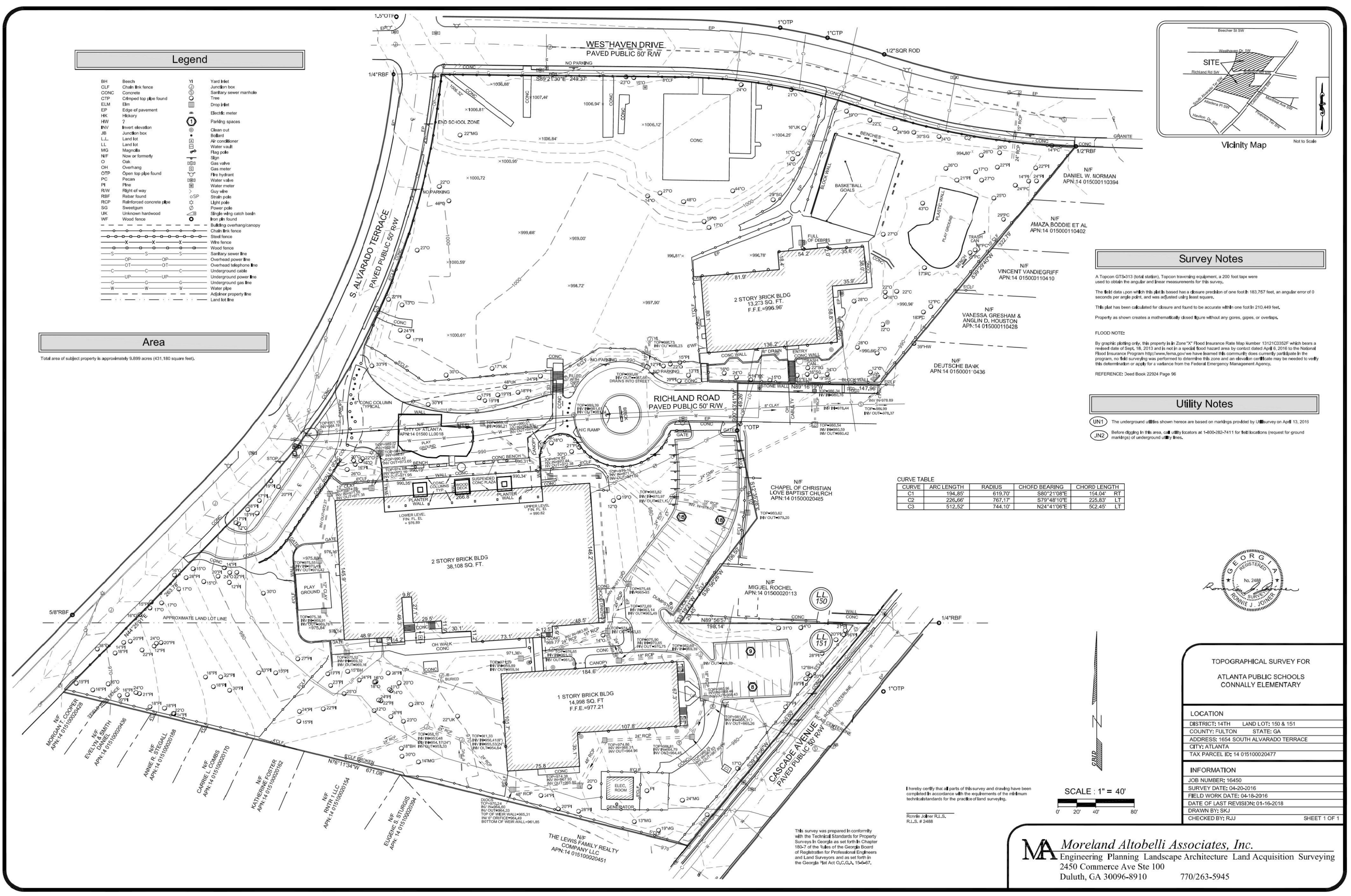
COOPER CARUSI
ARCHITECTS
COLLINS

SCHEMATIC DESIGN	12-22-2017
REVISED SD	01-09-2018
PRELIMINARY GDGE SUBMITTAL	01-23-2018
MISC. PERMIT SET	01-31-2018
50% DD PRICING SET	02-18-2018
BLDG DEMO SET	02-18-2018
100% DD SET	03-05-2018
PROGRESS SET	03-12-2018
LDP SET	04-02-2018
GMP SET	04-23-2018

TOPOGRAPHICAL SURVEY FOR
ATLANTA PUBLIC SCHOOLS
CONNALLY ELEMENTARY

LOCATION	
DISTRICT: 14TH	LAND LOT: 150 & 151
COUNTY: FULTON	STATE: GA
ADDRESS: 1654 SOUTH ALVARADO TERRACE	
CITY: ATLANTA	
TAX PARCEL ID: 14 015100020477	
INFORMATION	
JOB NUMBER:	16450
SURVEY DATE:	04-20-2016
FIELD WORK DATE:	04-18-2016
DATE OF LAST REVISION:	01-16-2018
DRAWN BY:	SKJ
CHECKED BY:	RJJ

NOTE: READ THE SPECIFICATIONS
THIS SET OF DRAWINGS AND SPECIFICATIONS DEFINE PROJECT SCOPE AND CONTRACT REQUIREMENTS. INDIVIDUAL SHEETS SEPARATED FROM THE SET MAY NOT ACCURATELY REFLECT ALL INFORMATION NEEDED TO SUITABLY COVER CERTAIN ITEMS. DO NOT SEPARATE THIS SET OF DRAWINGS INTO INDIVIDUAL SHEETS.



Legend

BH	Beech	Y1	Yard inlet
CLF	Chain link fence		Junction box
CONC	Concrete		Sanitary sewer manhole
CTP	Crimped top pipe found		Tree
ELM	Elm		Drop inlet
EP	Edge of pavement		Electric meter
HK	Hickory		Electric meter
HW	?		Parking spaces
INV	Invert elevation		Chalk line
JB	Junction box		Sublot
LL	Land lot		Air conditioner
LL	Land lot		Water vault
MG	Magnolia		Flag pole
NF	Now or formerly		Sign
O	Oak		Gas valve
OH	Overhang		Gas meter
OTP	Open top pipe found		Fire hydrant
PC	Person		Water valve
PI	Pine		Water meter
RW	Right of way		Guy wire
RBF	Raised found		Strike pole
RCP	Rainforced concrete pipe		Light pole
SG	Sweetgum		Power pole
UK	Unknown hardwood		Single whig catch basin
WF	Wood fence		Iron pin found
			Building overhang/canopy
			Chain link fence
			Steel fence
			Wire fence
			Wood fence
			Sanitary sewer line
			Overhead telephone line
			Overhead power line
			Underground cable
			Underground power line
			Underground gas line
			Water pipe
			Adjacent property line
			Land lot line

Area

Total area of subject property is approximately 9,899 acres (431,180 square feet).

Survey Notes

A Topcon GT-513 (total station), Topcon traversing equipment, a 200 foot tape were used to obtain the angular and linear measurements for this survey.
The field data upon which this plan is based has a closure prediction of one foot in 183,767 feet, an angular error of 0 seconds per angle point, and was adjusted using least squares.
This plan has been calculated for closure and found to be accurate within one foot in 210,448 feet.
Property as shown carries a mathematically closed figure without any gaps, pipes, or overlaps.
FLOOD NOTE:
By graphic plotting only, this property is in Zone "X" Flood Insurance Rate Map Number 1312 C0330Z which bears a revised date of Sept. 16, 2013 and is not in a special flood hazard area by contract dated April 6, 2016 to the National Flood Insurance Program <http://www.fema.gov> we have learned the community does currently participate in the program, no field surveying was performed to determine this zone and an elevation certificate may be needed to verify this determination or apply for a variance from the Federal Emergency Management Agency.
REFERENCE: Deed Book 22924 Page 96

Utility Notes

(UN1) The underground utilities shown here are based on markings provided by U.S. Survey on April 13, 2016.
(JN2) Before digging in this area, call utility locators at 1-800-262-7411 for field locations (request for ground markings) of underground utilities.

CURVE TABLE

CURVE	ARC LENGTH	RADIUS	CHORD BEARING	CHORD LENGTH
C1	194.85'	619.70'	S80°21'08"E	154.04' RT
C2	226.68'	767.17'	S79°48'10"E	225.83' LT
C3	512.52'	744.10'	N24°41'06"E	522.45' LT



SCALE: 1" = 40'
0' 20' 40' 80'

MA Moreland Altobelli Associates, Inc.
Engineering Planning Landscape Architecture Land Acquisition Surveying
2450 Commerce Ave Ste 100
Duluth, GA 30096-8910 770/263-5945



3391 Peachtree Rd NE, Suite 400
Atlanta, Georgia 30326
404-873-0001



**Tuskegee Airmen
Global Academy**
1654 South Alvarado Terrace
Atlanta, GA 30331

PROJECT NUMBER
17031



THIS DRAWING IS THE EXCLUSIVE PROPERTY OF THE ARCHITECTS AND MAY NOT BE REPRODUCED OR USED WITHOUT THEIR WRITTEN PERMISSION AND AGREEMENT.

COPYRIGHT © 2017 COLLINS COOPER CARUSI ARCHITECTS, INC.

ISSUED FOR CONSTRUCTION

SCHEMATIC DESIGN	12-22-2017
REVISED SD	01-09-2018
PRELIMINARY GOODE SUBMITTAL	01-23-2018
MISC. PERMIT SET	01-31-2018
50% DD PRICING SET	02-18-2018
BLDG DEMO SET	02-18-2018
100% DD SET	03-05-2018
PROGRESS SET	03-12-2018
LDP SET	04-02-2018
GMP SET	04-23-2018

<p>NOTE: READ THE SPECIFICATIONS TO THIS SET OF DRAWINGS AND CONTRACT REQUIREMENTS. INDIVIDUAL SHEETS SEPARATED FROM THIS SET MAY NOT ACCURATELY REFLECT ALL INFORMATION NEEDED TO SUITABLY COVER CERTAIN ITEMS. DO NOT SEPARATE THIS SET OF DRAWINGS INTO INDIVIDUAL SHEETS.</p>

SHEET TITLE
SITE LAYOUT PLAN

C200

SITE PLAN LEGEND

LAYOUT & STAKING

- COORDINATE POINT
- P.O.B. POINT OF BEGINNING
- DETAIL REFERENCE
- HANDRAIL AND/OR GUARDRAIL
- GDOT TYPE 400 VEHICULAR GUARDRAIL

PAVEMENT MARKINGS

- PARKING ARROW - STRAIGHT, WHITE
- PARKING ARROW - TURN, WHITE
- PAINTED CROSSWALK - WHITE
- ADA PARKING ACCESSIBLE - BLUE
- PAINTED WORD "STOP" - WHITE
- PAINTED WORD "ONLY" - WHITE

SIGNAGE

- STOP SIGN - MUTCD STANDARD R8-1
- YIELD SIGN - MUTCD STANDARD R8-2
- NO PARKING SIGN - MUTCD STANDARD R8-3a
- DO NOT ENTER SIGN - MUTCD STANDARD R8-1
- ONE WAY SIGN - MUTCD STANDARD R8-2

SITE GRADING

- PROPOSED INTERMEDIATE CONTOURS
- PROPOSED INDEX CONTOURS
- SPOT ELEVATION
- BERRY
- H.P. HIGH POINT
- L.P. LOW POINT
- FLOW DIRECTION
- SCALE
- SLOPE INDICATOR
- FINISHED GRADE AT TOP OF WALL
- FINISHED GRADE AT BOTTOM OF WALL
- TOP OF CURB ELEVATION

SITE UTILITIES

- DOMESTIC WATER
- FIRE MAIN
- FIRE HYDRANT
- FIRE DEPARTMENT CONNECTION
- POST INDICATOR VALVE
- CONCRETE THRUST BLOCKING
- WATER VALVE
- GRAVITY SANITARY SEWER
- FORCE MAIN

GENERAL

- TREE PROTECTION FENCE
- LIMITS OF CONSTRUCTION
- EXISTING TREE TO BE REMOVED

STORM DRAINAGE STRUCTURES

- STORY STRUCTURE LABEL
- OUTLET HEADWALL
- FLARED END SECTION - GDOT STANDARD 102
- SAFETY END SECTION - GDOT STANDARD 102
- CATCH BASIN / GRATE INLET
- JUNCTION BOX
- DROP INLET - PEDESTAL TOP
- CURB INLET - GDOT STANDARD 101a
- W/ TYPE 2 HOOD
- DOUBLE-ING Catch Basin - GDOT STANDARD 1033D
- DOUBLE-ING Catch Basin - GDOT STANDARD 1034D
- OUTLET CONTROL STRUCTURE
- TOP OF STRUCTURE ELEVATION
- THROAT OF STRUCTURE ELEVATION
- HIGH-DENSITY POLYETHYLENE PIPE
- ALUMINIZED STEEL TYPE 2 PIPE
- DUCTILE IRON PIPE
- REINFORCED CONCRETE PIPE (CLASS IV OR V) w/ RUBBER O-RING GASKET
- PVC POLYVINYL CHLORIDE PIPE (SCHEDULE 40)
- INVERT ELEVATION - IN
- INVERT ELEVATION - OUT
- HYDRAULIC GRADE LINE

PAVING LEGEND

- ASPHALT CUT & PATCH
- CONCRETE WALK
- HEAVY DUTY ASPHALT PAVING
- HEAVY DUTY CONCRETE PAVING
- SLATESCAPE PAVING
- PLAYGROUND SURFACING (ENGINEERED WOOD FIBER FULCH)
- SYNTHETIC TURF

CAUTION

THE UTILITIES SHOWN ARE SHOWN FOR THE CONTRACTOR'S CONVENIENCE ONLY. THERE MAY BE OTHER UTILITIES NOT SHOWN ON THESE PLANS. THE LANDSCAPE ARCHITECT ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS SHOWN AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATIONS OF UTILITIES WITHIN THE LIMITS OF THE WORK. DAMAGE TO EXISTING UTILITIES BY THE CONTRACTOR FROM HIS OWN OPERATIONS SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

CONTRACTOR SHALL BE RESPONSIBLE TO SECURE THE SERVICES OF A PRIVATE UTILITY LOCATOR FIRST DURING THE ENTIRE COURSE OF CONSTRUCTION. CONTRACTOR SHALL PAY FOR SAID SERVICES. CONTRACTOR SHALL REPAIR ALL UTILITIES DAMAGED BY CONSTRUCTION ACTIVITIES, AT NO ADDITIONAL COST TO THE OWNER/DEVELOPER.

UTILITIES PROTECTION CENTER
THROUGHOUT GEORGIA
1-800-285-7418

THREE WORKING DAYS BEFORE YOU DIG

CONTRACTOR SHALL BE RESPONSIBLE FOR COMPACTION OF BACKFILL OF ALL UTILITY TRENCHES WITHIN SITE WORK LIMITS. THIS INCLUDES TRENCHES DUG AND BACKFILLED BY LOCAL UTILITIES SUCH AS POWER, GAS, TELEPHONE, ETC. CONTRACTOR SHALL PROVIDE ADDITIONAL BACKFILL AND COMPACTION AS NECESSARY, IF SETTLEMENT OCCURS.

DO NOT DUPLICATE DRAWINGS WITHOUT PERMISSION

Parent Drop Off

New Parking Lot
89 sp.

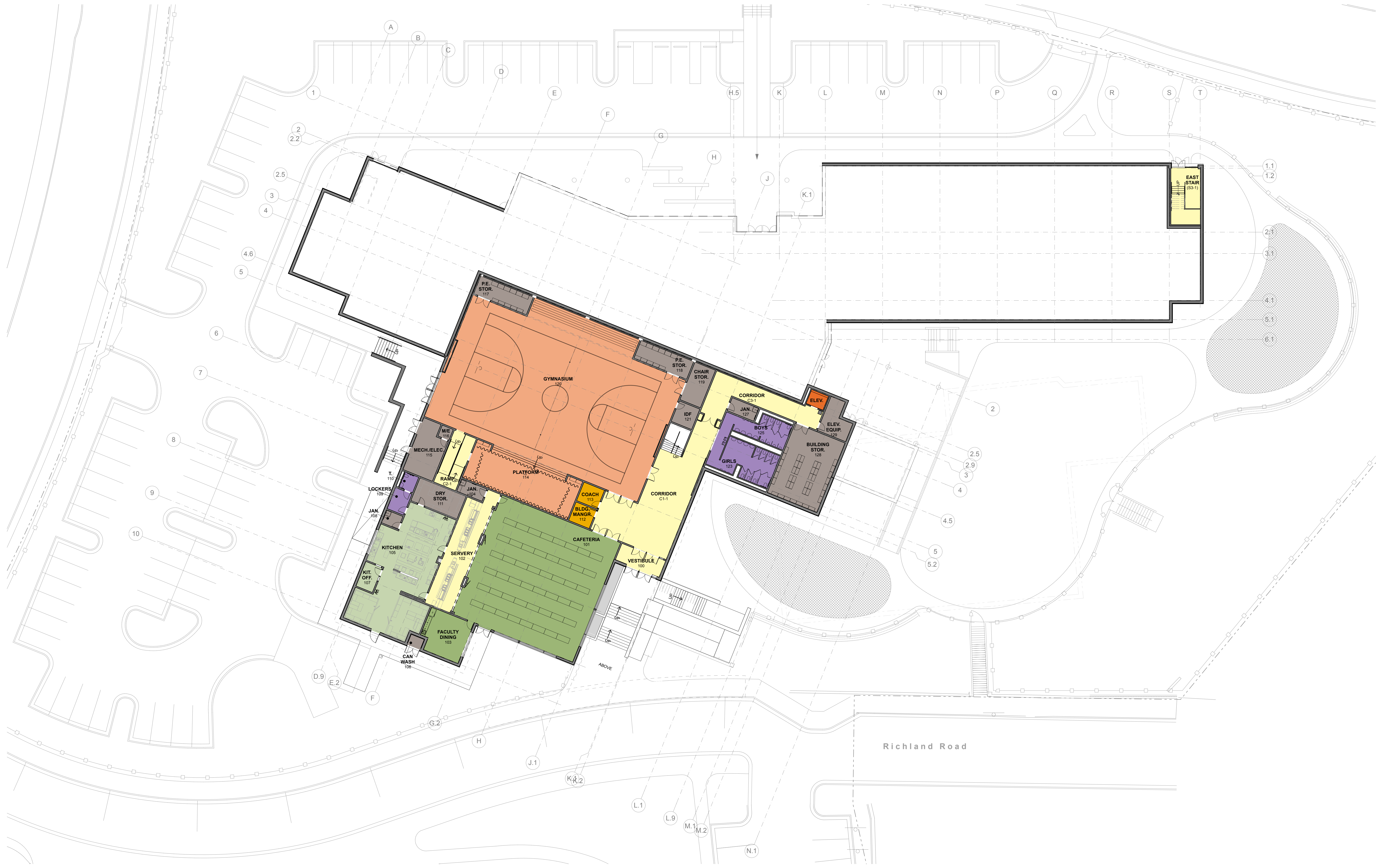
New Bus Loop

Playgrounds and Turf Field

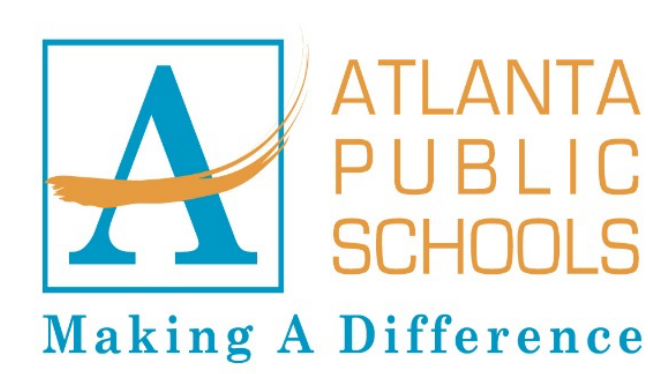
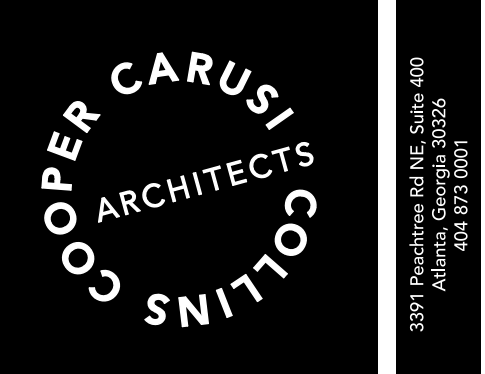
Existing Parking 36 sp.

Existing School Building

BIM Server: d:\imperial\c200\plan - BIM Server\20170317 APD TAC Academy - 121317.rvt



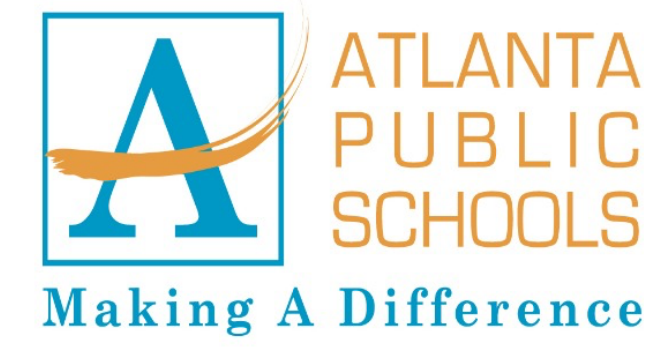
1 LOWER LEVEL FLOOR PLAN
SCALE: 1/16" = 1'-0"



Tuskegee Airmen Global Academy
Project Number 17031
The Atlanta Public School System
5/3/18



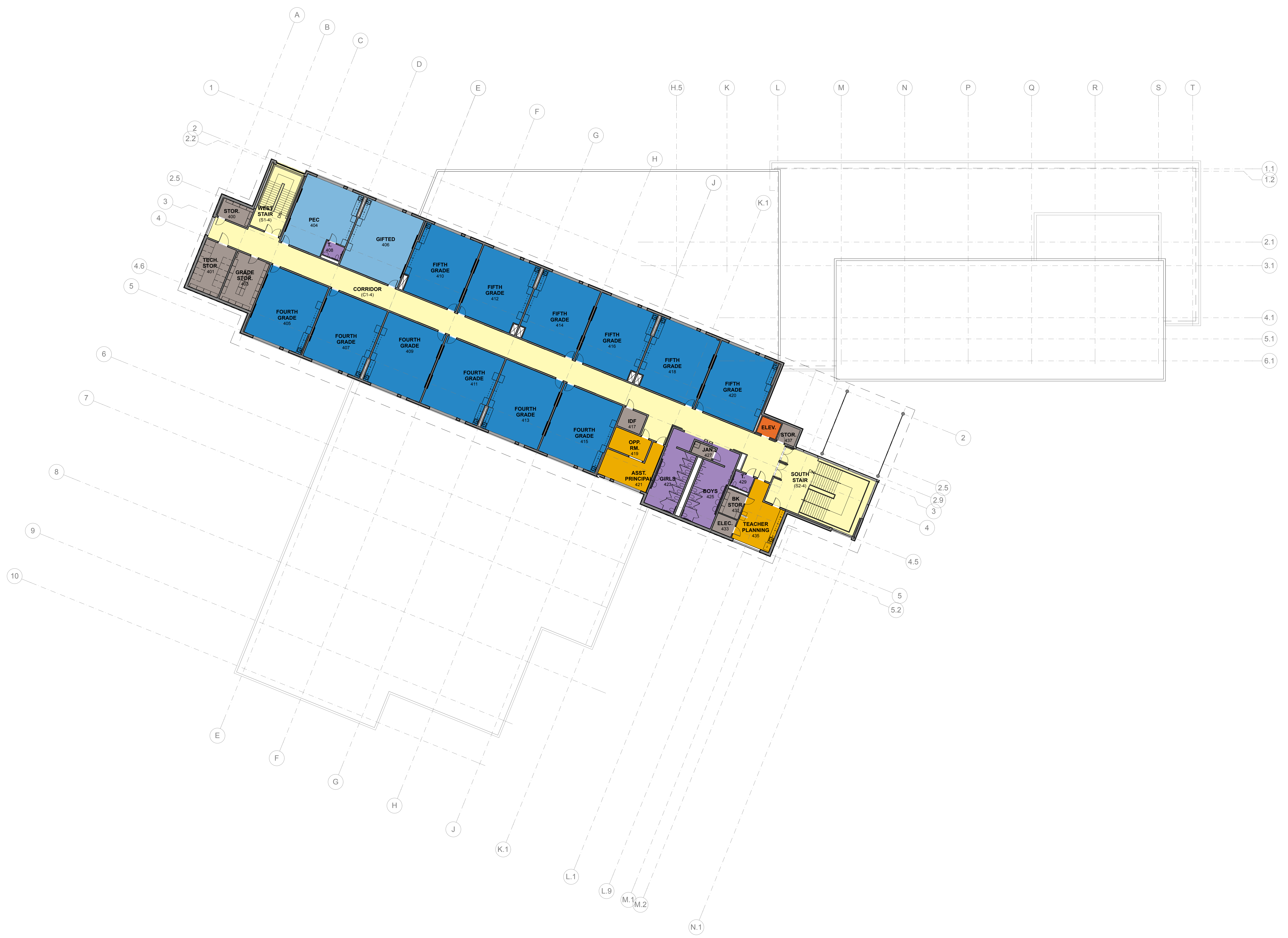
1 MAIN LEVEL FLOOR PLAN
SCALE: 1/16" = 1'-0"



Tuskegee Airmen Global Academy
Project Number 17031
The Atlanta Public School System
5/3/18



1 SECOND LEVEL FLOOR PLAN
 SCALE: 1/16" = 1'-0"



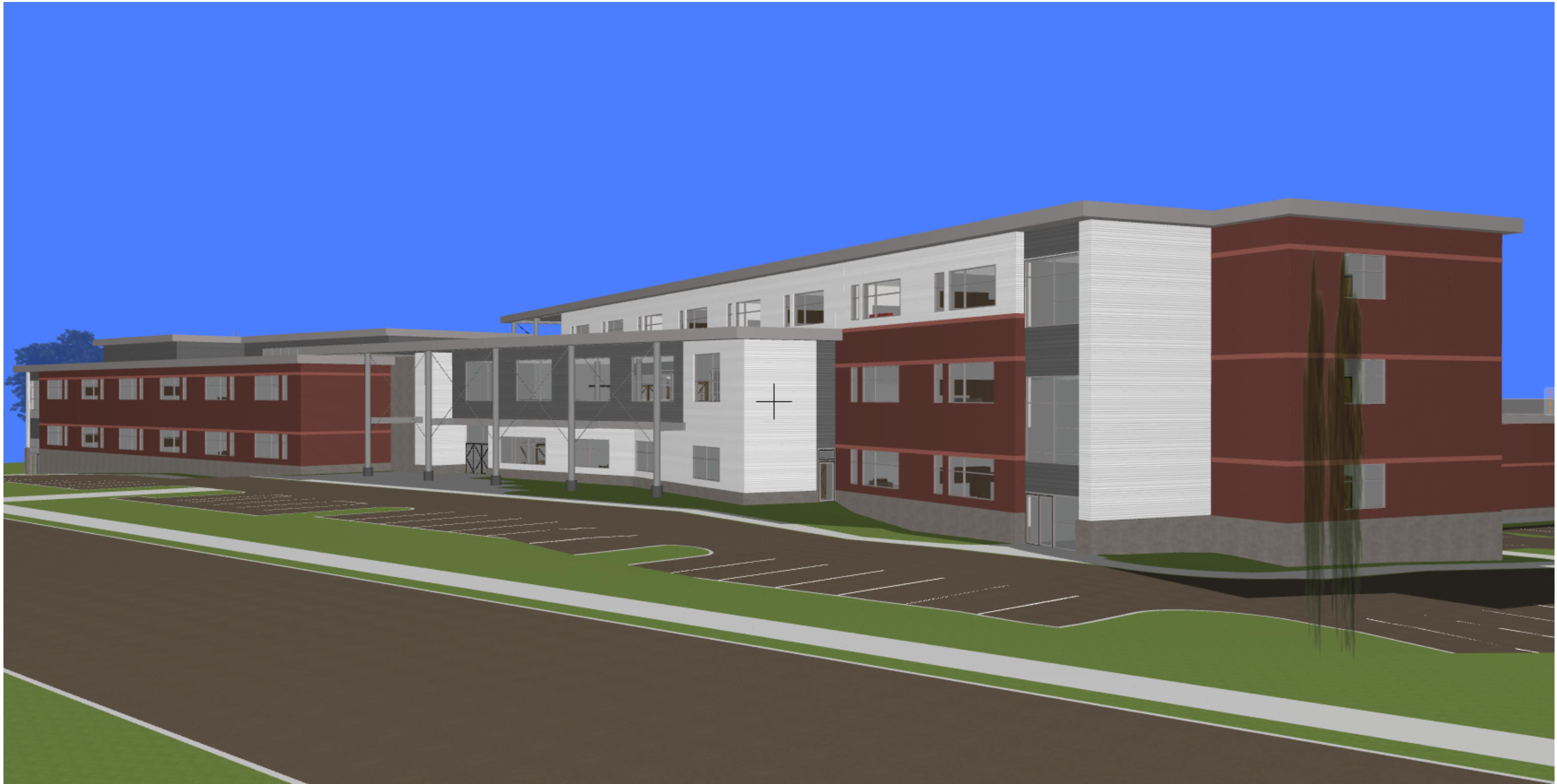
1 THIRD LEVEL FLOOR PLAN
 SCALE: 1/16" = 1'-0"



3374 Peachtree Rd NE, Suite 409
Atlanta, Georgia 30326
404.673.3001

Tuskegee Airmen Global Academy
17031
Atlanta Public Schools
5/3/18





3374 Peachtree Rd NE, Suite 400
Atlanta, Georgia 30326
404.673.0001

Tuskegee Airmen Global Academy

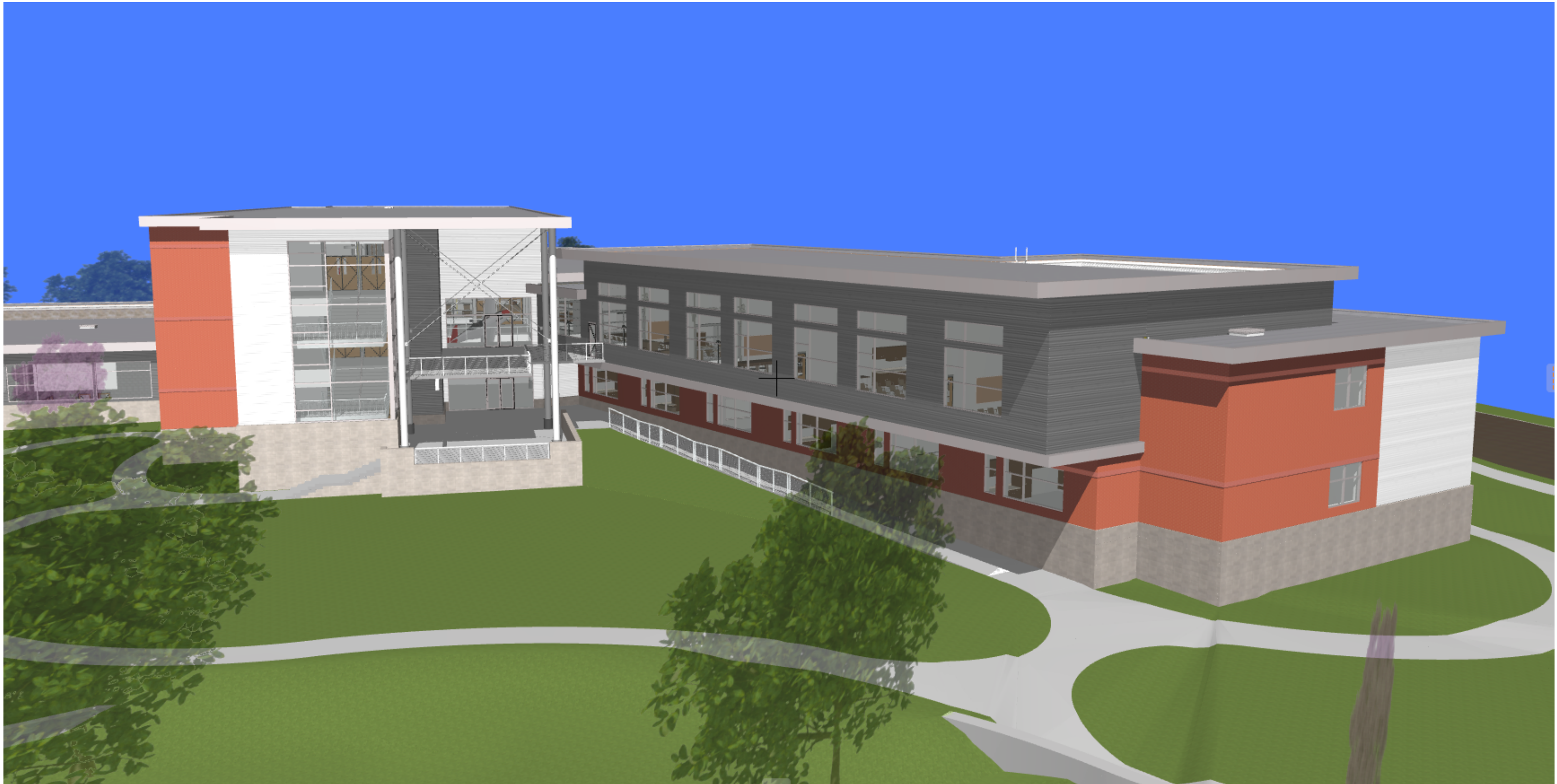
17031

Atlanta Public Schools

4/16/18



**ATLANTA
PUBLIC
SCHOOLS**



3374 Peachtree Rd, NE, Suite 400
Atlanta, Georgia 30326
404.673.0001

Tuskegee Airmen Global Academy

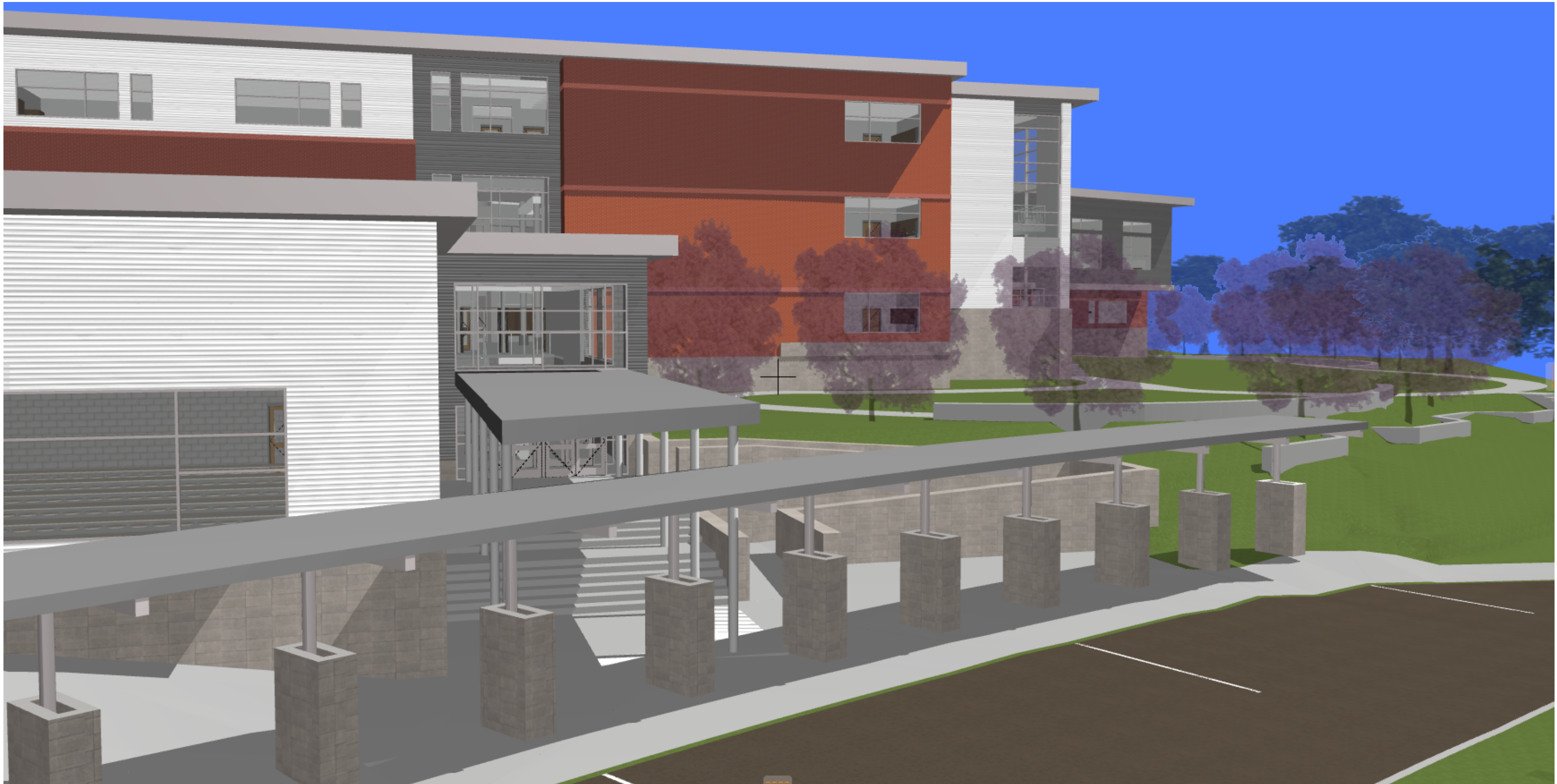
17031

Atlanta Public Schools

4/16/18



**ATLANTA
PUBLIC
SCHOOLS**



3374 Peachtree Rd NE, Suite 400
Atlanta, Georgia 30326
404.673.0001

Tuskegee Airmen Global Academy

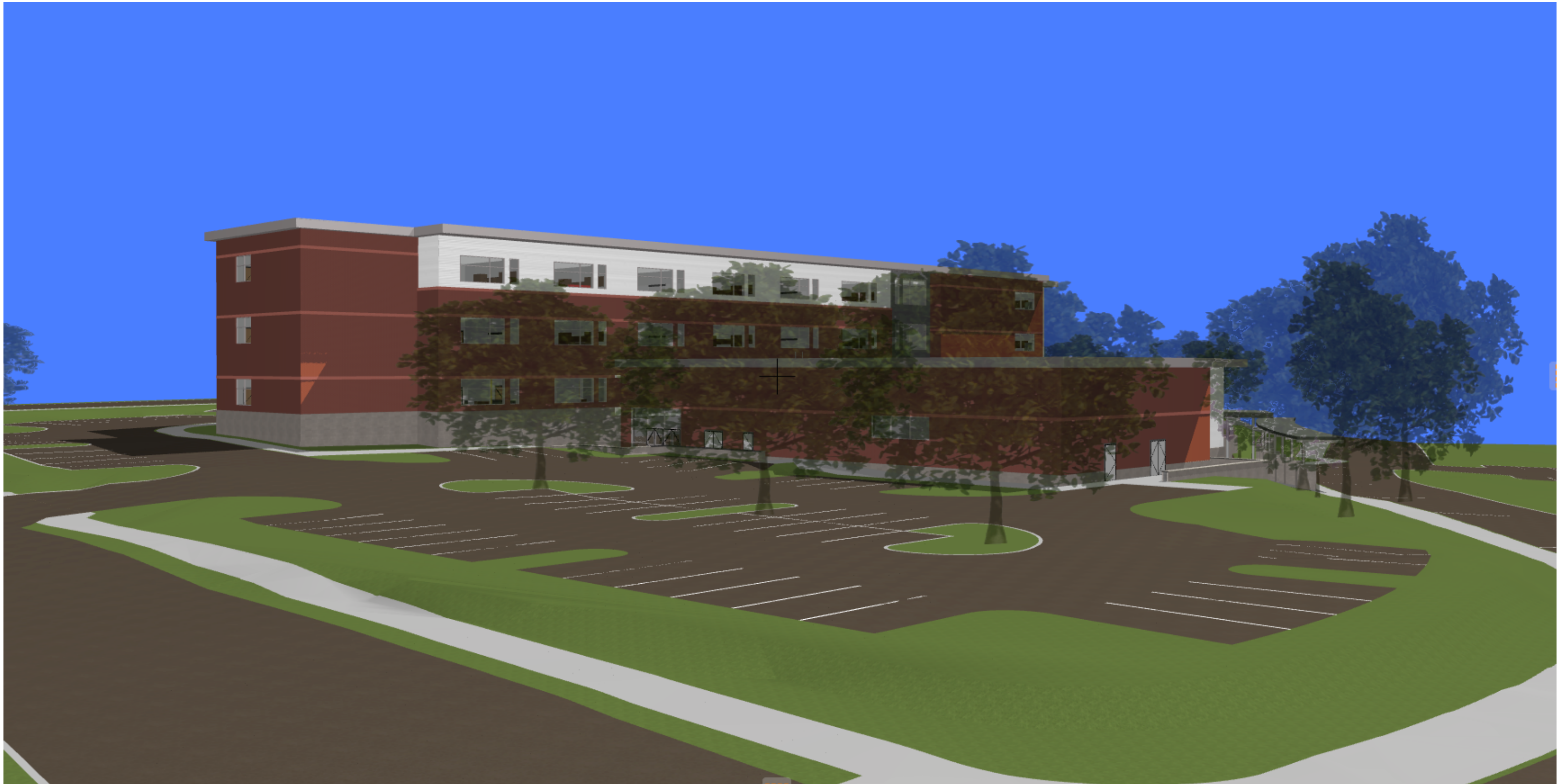
17031

Atlanta Public Schools

4/16/18



**ATLANTA
PUBLIC
SCHOOLS**



3374 Peachtree Rd NE, Suite 400
Atlanta, Georgia 30326
404.873.0001

Tuskegee Airmen Global Academy

17031

Atlanta Public Schools

4/16/18



**ATLANTA
PUBLIC
SCHOOLS**